



13 ROSECREST AVENUE | ALEXANDRIA VA.

OCTOBER 4, 2017

DRAWINGS BY: STEPHEN L. MORRIS (GENERAL CONTRACTOR)  
6182 GROVEDALE CT | SUITE 100 | ALEXANDRIA, VA. 22310

MORRIS CONSTRUCTION COMPANY

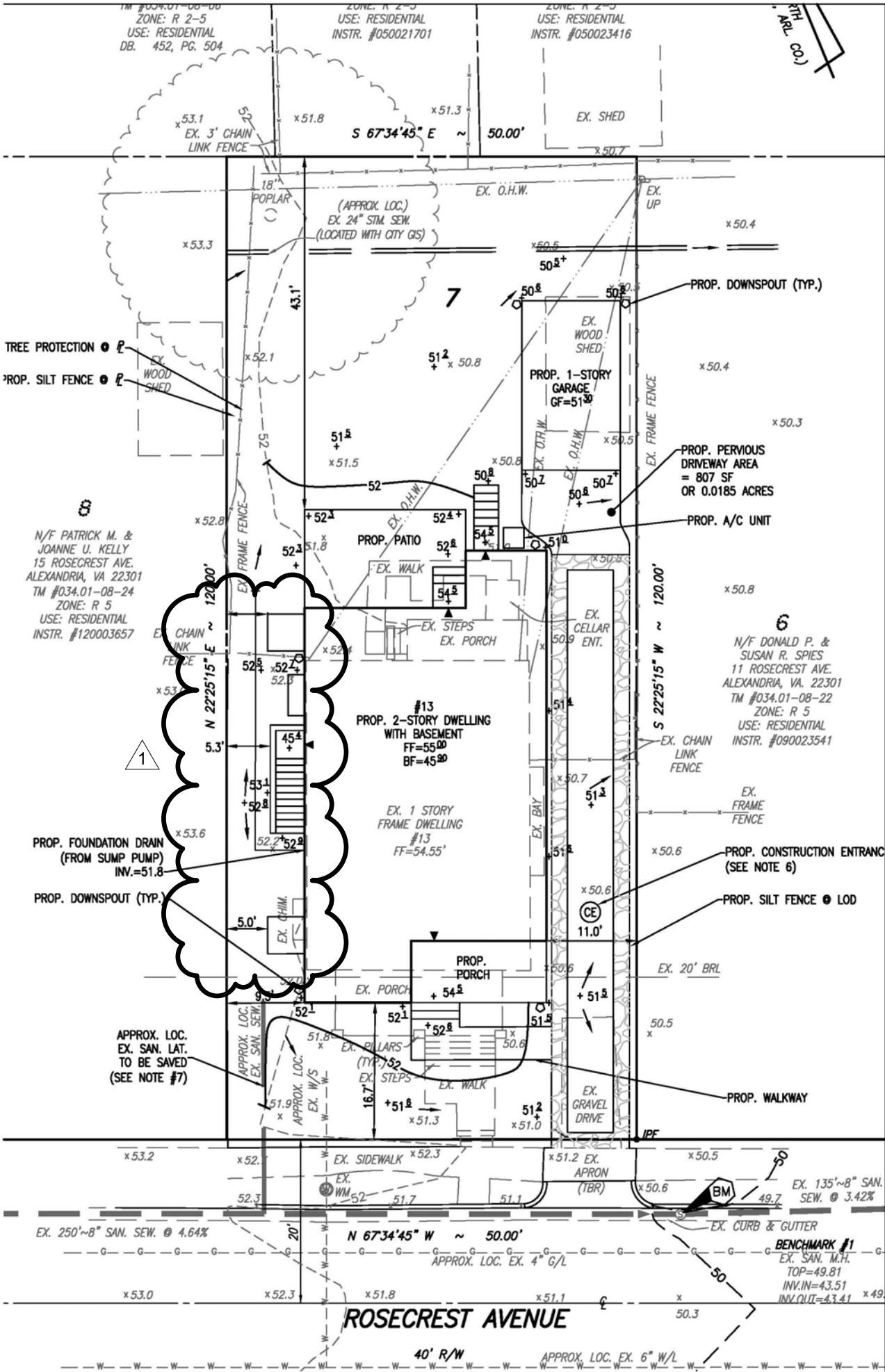
ABBREVIATIONS

AD	ACCESS DOOR	OC	ON CENTER
ADJ	ADJUSTABLE	OPP	OPPOSITE
AFF	ABOVE FINISHED FLOOR	OVHD,OH	OVERHEAD
ALT	ALTERNATE		
BO	BOTTOM OF	PLYWD	PLYWOOD
BLK	BLOCK	RAD	RADIUS
BM	BEAM	REINF	REINFORCEMENT
BOT	BOTTOM	REQD	REQUIRED
BRG	BEARING	REV	REVISION
CJ	CONTROL JOINT	RM	ROOM
CLG	CEILING	S	SOUTH
CL	CENTERLINE	SE	SOUTHEAST
CLR	CLEAR	SIM	SIMILAR
CMU	CONCRETE MASONRY UNITS		
COL	COLUMN	TO	TOP OF
CONC	CONCRETE	TS	TOP OF STEEL,TOP OF SLAB
DIA	DIAMETER	TYP	TYPICAL
DIM	DIMENSION		
DL	DEAD LOAD	WA	WATT
DN	DOWN	W/	WITH
DS	DOWNSPOUT	W/O	WITHOUT
DWG	DRAWING	WC	WATER CLOSET
E	EAST	WD	WIDTH, WINDOW DIMENSION
EA	EACH	WT	WEIGHT
EF	EXHAUST FAN	WWF	WELDED WIRE FABRIC
EL	ELEVATION		
ELEC	ELECTRIC	VERT	VERTICAL
EQ	EQUAL		
EXIST	EXISTING		
EXP	EXPANSION, EXPOSED		
EXT	EXTERIOR		

FDN	FOUNDATION
FIG	FIGURE
FIN	FINISH
FL	FLOOR, FLASHING, FLOW LINE
FTG	FOOTING
GAL	GALVANIZED
GFMU	GROUND FACE MASONRY UNIT
GR	GRADE
GWB	GYPSUM WALL BOARD GYP GYPSUM
INT	INTERIOR
INSUL	INSULATION, INSULATED
HGT	HEIGHT
JCT	JUNCTION
JT	JOINT
JST	JOIST
MAX	MAXIMUM
MIN	MINIMUM
MTD	MOUNTED
MTG	MOUNTING
N	NORTH
NA	NOT APPLICABLE
NE	NORTHEAST
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
NW	NORTHWEST

MATERIALS LEGEND

	CONCRETE (SECTION)
	GRANULAR FILL
	CONCRETE MASONRY UNITS
	BRICK
	RIGID INSULATION (SECTION)
	ACOUSTIC/THERMAL INSULATION (SECTION)
	STUD WALL (PLAN & SECTION)
	EXISTING WALL TO REMAIN (PLAN & SECTION)
	DEMO WALL (PLAN & SECTION)
	STEEL (SECTION)
	ALUMINUM (SECTION)
	WOOD - FINISH (SECTION)
	DIMENSIONAL LUMBER CONTINUOUS (SECTION)
	DIMENSIONAL LUMBER BLOCKING (SECTION)
	LUMBER - FINISH (SECTION)
	EARTHWORK (SECTION)



\*\* INFORMATION HEREIN TAKEN FROM A HOUSE PLAT PROVIDED BY THE OWNER BY RCFIELDS, JR & ASSOCIATES . \*\*

PLEASE SEE ATTACHED PLAT SURVEY FOR FURTHER INFORMATION NOT SHOWN HERE.

**LOT 7 - BLOCK 3, SECTION 1**

**TOTAL LOT AREA:** 7,000 SF

**ALLOWED COVERAGE (F.A.R) 45%:** 2,700 SF

**TOTAL COVERAGE:** 2,666 SF

SHEET INDEX

SHEET NUMBER	SHEET NAME
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G-000	COVERSHEET
G-001	SHEET INDEX
G-002	GENERAL NOTES
A-000	FOUNDATION PLAN
A-100	BASEMENT PLAN
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-103	ROOF PLANS
A-104	CEILING PLANS
A-105	WALL BRACING PLANS
A-106	FRAMING PLANS
A-200	ELEVATIONS
A-201	ELEVATIONS
A-300	BUILDING SECTIONS
A-301	SECTIONS & DETAILS
A-400	GARAGE PLANS & DETAILS

NOTES

SEE IRC 2012 CONST. SPECIFICATIONS FOR MINIMUM REQUIREMENTS NOT SHOWN ON DRAWINGS

ALL WORK BEING DONE MUST BE DONE PROPERLY WITH MINIMAL DISTURBANCE TO THE CLIENT

ALL MODIFICATIONS AND EXTERIOR ALTERATIONS TO EXISTING BUILDING SHALL BE COMPATIBLE WITH THE EXISTING CHARACTER OF THE BUILDING.

ALL EXTERIOR OPENINGS ARE TO BE FLASHED AND CAULKED

PROTECT EXISTING RESIDENCE FROM ENTRY OF TRASH & DEBRIS, WATER & COLD

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13 ROSECREST AVENUE ALEXANDRIA VA

Date

Issue Date

No.	Description	Date
1	Revision 1	9/27/17

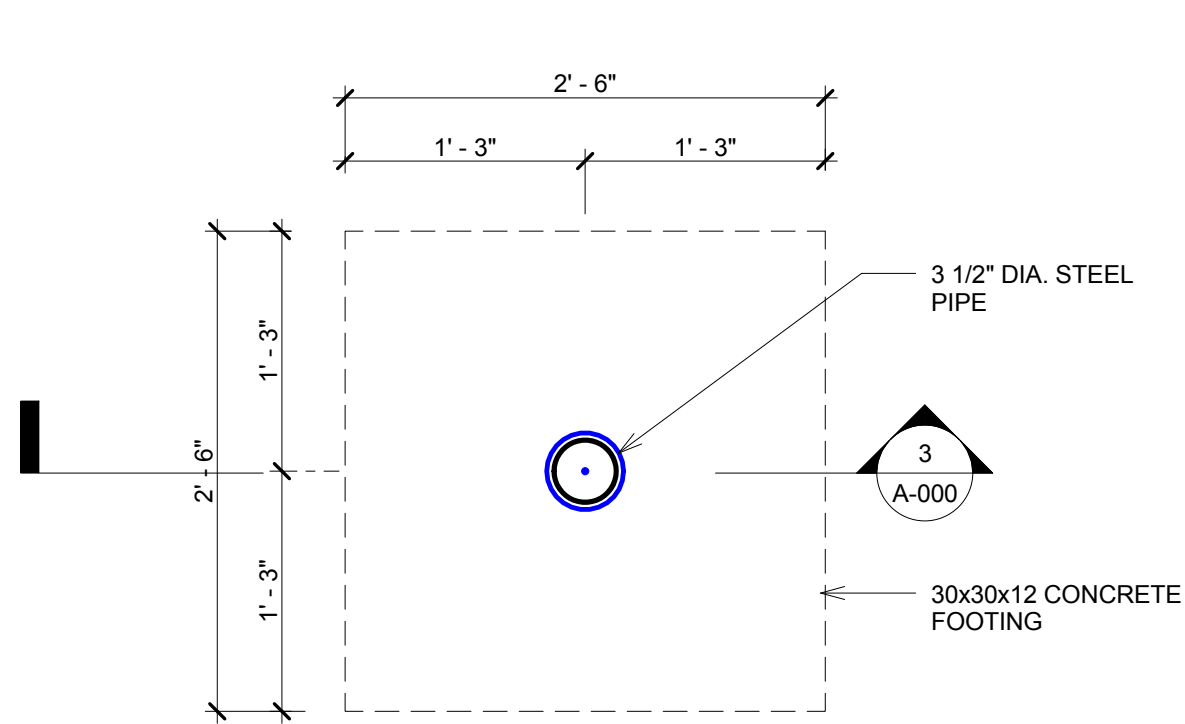
SHEET INDEX

G-001

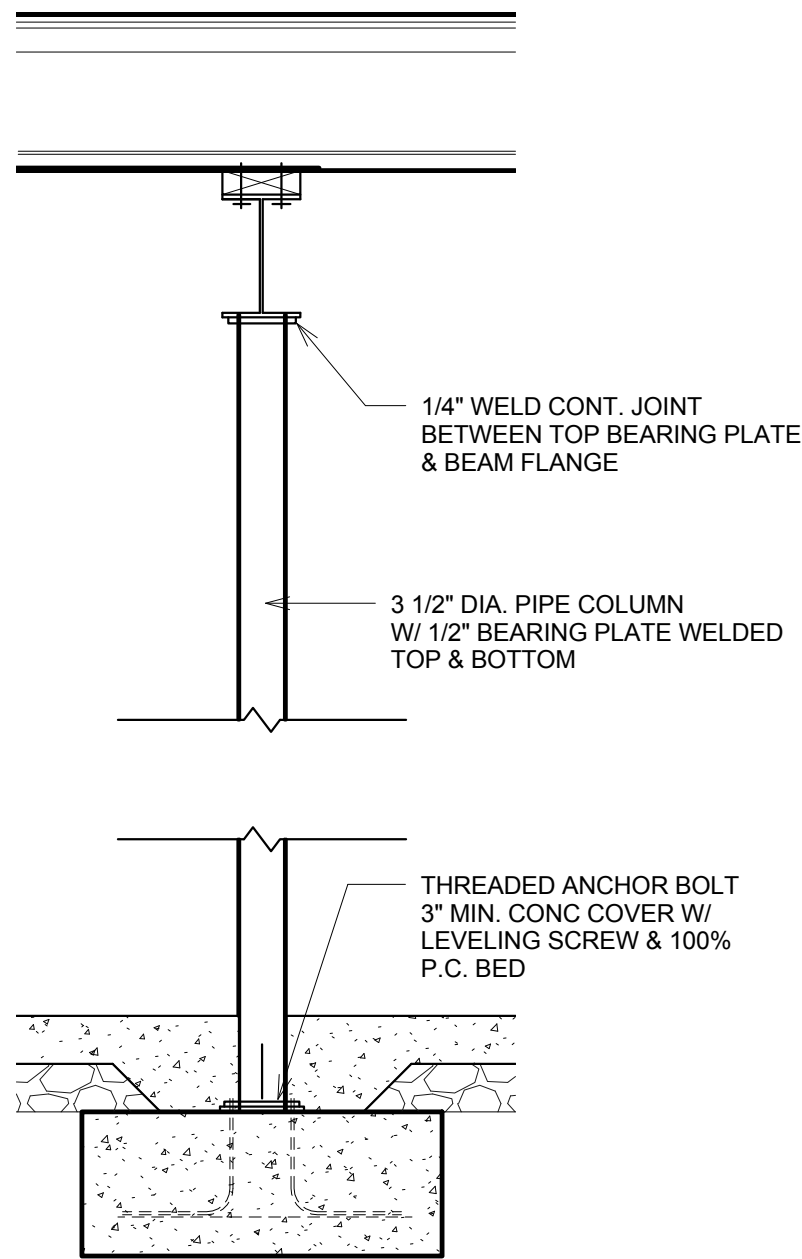
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12" = 1'-0"

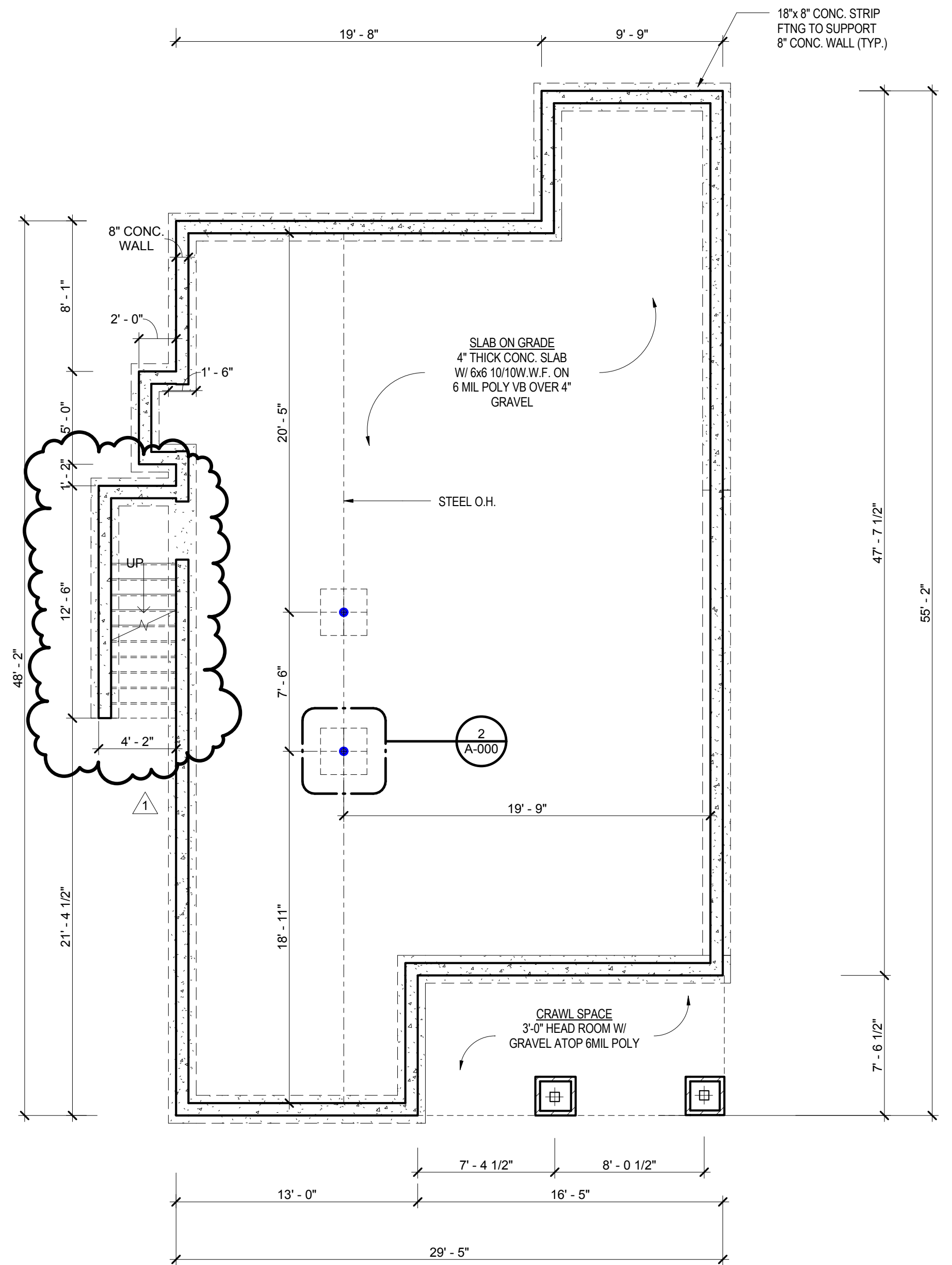




② PIPE COLUMN DETAIL  
1" = 1'-0"



③ SECTION @ PIPE COLUMN  
3/4" = 1'-0"



① FOUNDATION PLAN  
3/16" = 1'-0"

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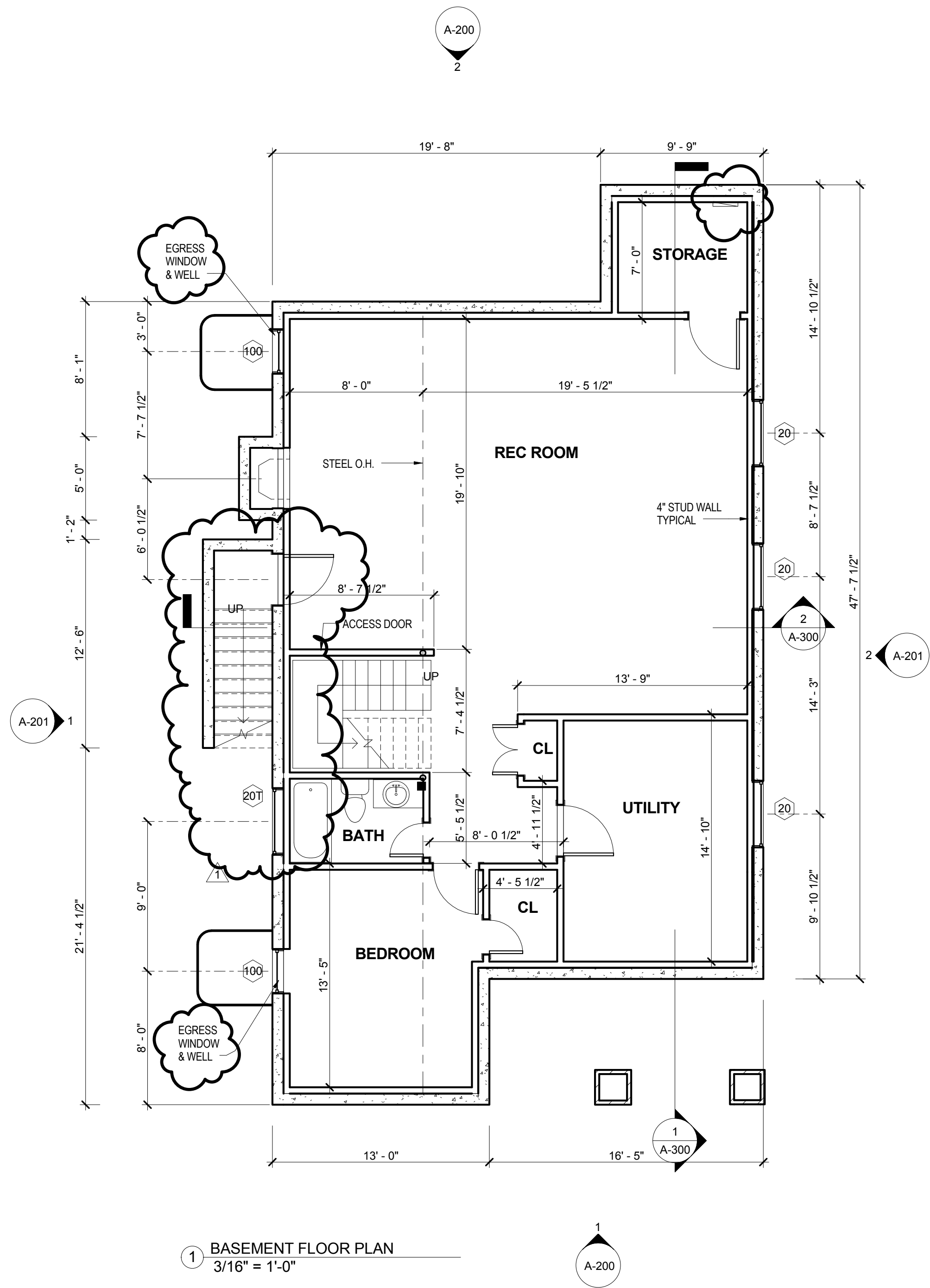
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FOUNDATION  
PLAN

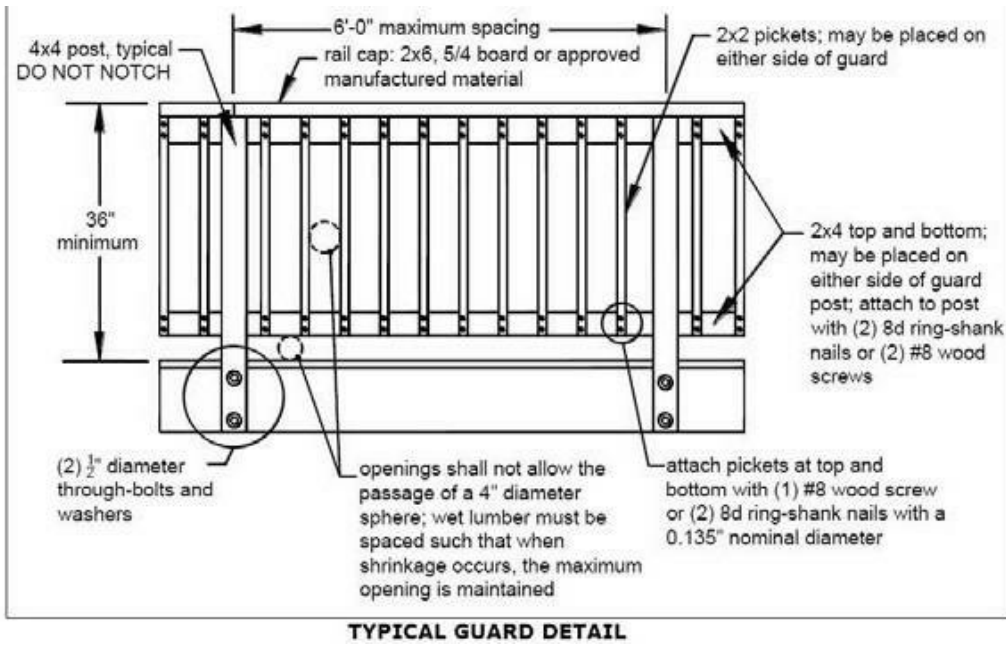
A-000

Scale

As Indicated



1 BASEMENT FLOOR PLAN  
3/16" = 1'-0"



TYPICAL GUARD DETAIL

TYPICAL STAIR NOTES:

- 1. THE RISE AND RUN OF STEPS SHALL BE UNIFORM IN SIZE AND SHAPE AND THE VARIATION CAN NOT EXCEED 3/8" TOTAL RUN.
- 2. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAT 3/8" BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSING SHALL NOT EXCEED 1/2". RISERS SHALL BE VERTICAL OR SLOPED UNDER THE TREAD ABOVE FROM THE UNDERSIDE OF THE NOSING ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM VERTICAL.
- 3. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL.
- 4. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS. HANDRAILS SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01".

BASEMENT WINDOW SCHEDULE		
Level	Type Mark	Type Comments
BASEMENT FF	100	2846DH
BASEMENT FF	20	4016 AWNING
BASEMENT FF	20T	4016 AWNING TEMPERED
BASEMENT FF	20	4016 AWNING
BASEMENT FF	20	4016 AWNING
BASEMENT FF	100	2846DH

GENERAL NOTES:

- 1. DASHED BLUE LINES INDICATE EXTENT OF DEMOLITION, UNLESS OTHERWISE NOTED
- 2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING
- 3. SEE IRC 2012 CONSTRUCTION SPECIFICATIONS FOR MINIMUM REQUIREMENTS NOT SHOWN ON DRAWINGS
- 4. WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OR WHEN APPLICABLE SECTION R602.12
- 5. HATCHED AREAS INDICATED LOCATION OF BRACED WALLS USING METHODS CS-WSP AND CSPF UNLESS NOTED OTHERWISE
- 6. ALL PF BRACED WALLS W/ 11 1/4" LVL'S WILL BE USED AS BRACED WALLS ON THE 1ST & 2ND FLOORS IN ACCORDANCE W/ R602.10.7

HEADER SCHEDULE	
OPENING SIZE	HEADER
UP TO 6'-0"	2-2x10
6'-0" TO 8'-0"	2-2x12
8'-0 TO 10'-0"	2-2PLY 12" LVL

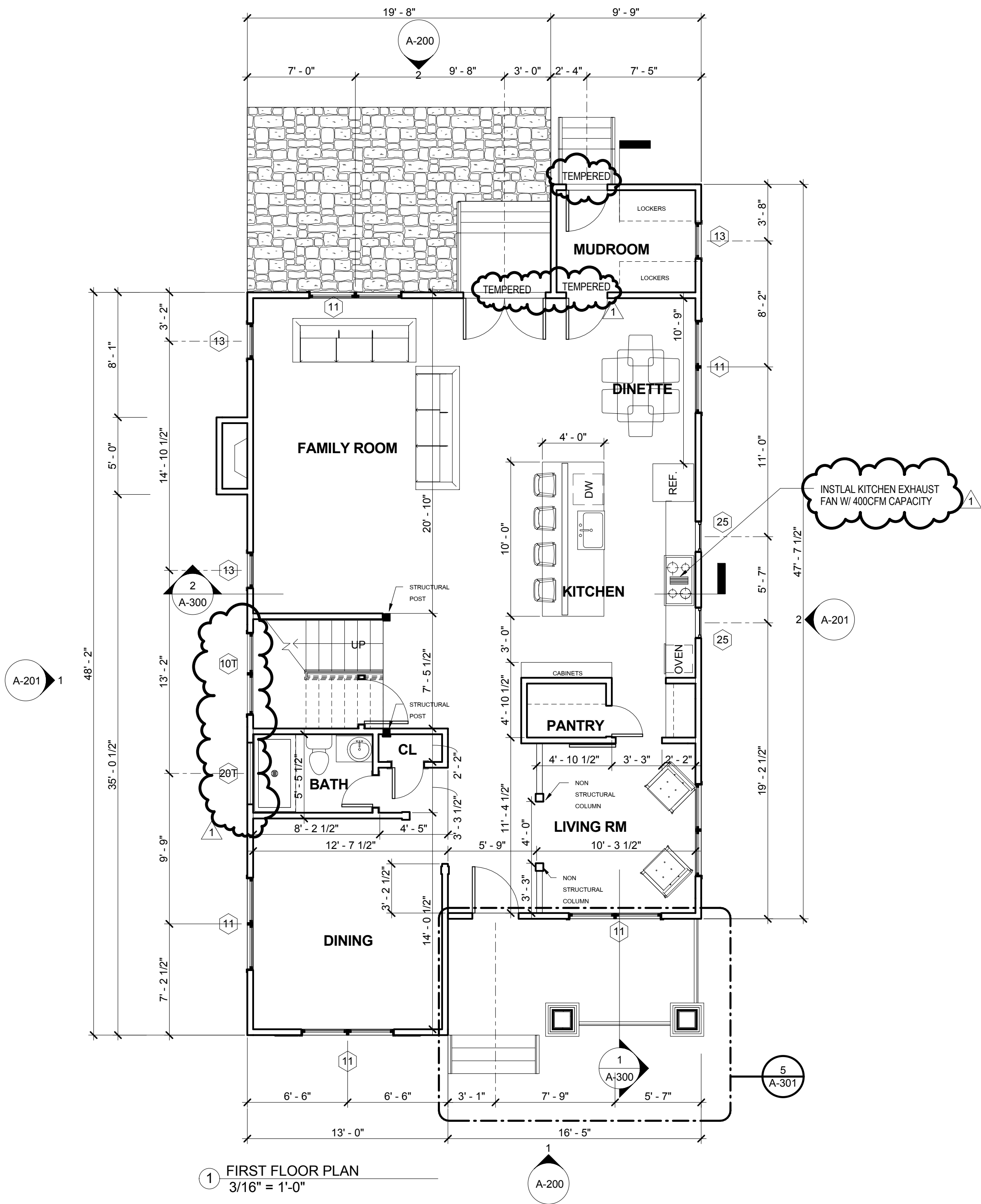
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BASEMENT PLAN

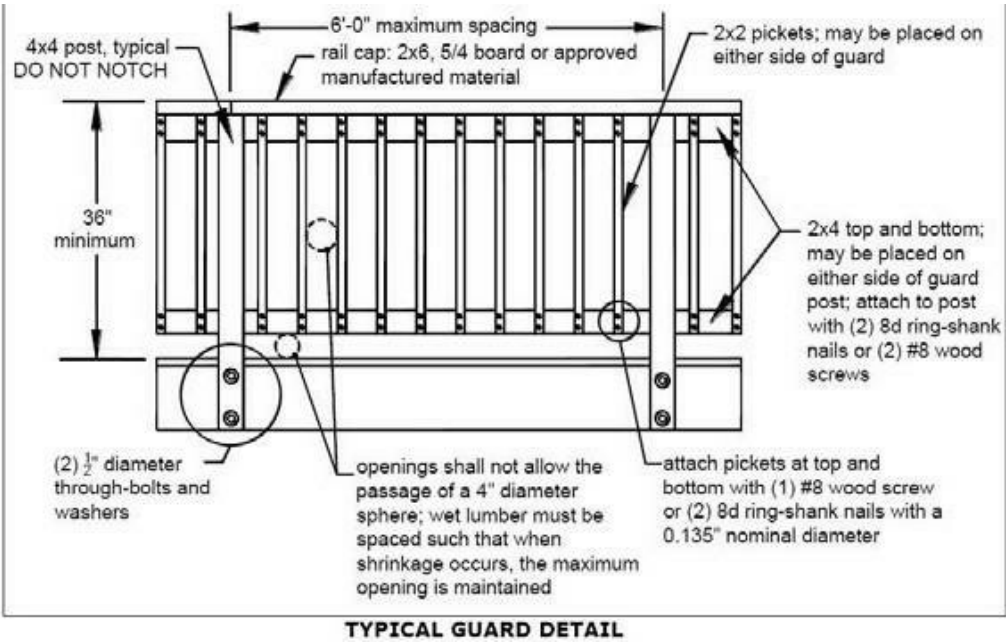
A-100

Scale As indicated





1 FIRST FLOOR PLAN  
3/16" = 1'-0"



TYPICAL GUARD DETAIL

TYPICAL STAIR NOTES:

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FIRST FLOOR WINDOW SCHEDULE		
Level	Type Mark	Type Comments
FIRST FF	10T	TW2852DH TEMPERED
FIRST FF	11	TW3052DH
FIRST FF	11	TW3052DH
FIRST FF	11	TW3052DH
FIRST FF	11	TW3052DH
FIRST FF	11	TW3052DH
FIRST FF	11	TW3052DH
FIRST FF	13	2452DH
FIRST FF	13	2452DH
FIRST FF	13	2452DH
FIRST FF	20T	4016 AWNING TEMPERED
FIRST FF	25	2030DH
FIRST FF	25	2030DH

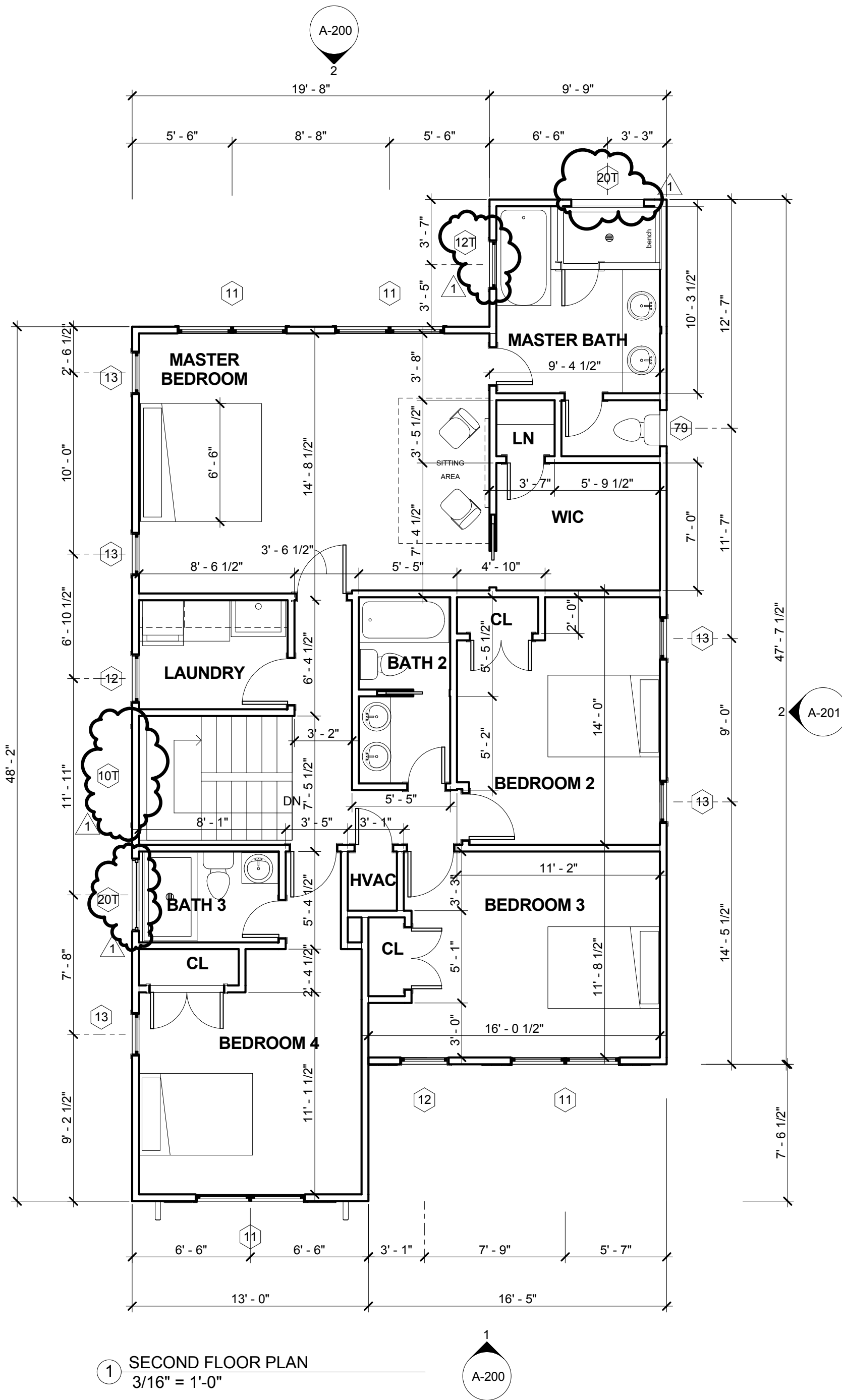
GENERAL NOTES:

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5. HATCHED AREAS INDICATED LOCATION OF BRACED WALLS USING METHODS CS-WSP AND CSPF UNLESS NOTED OTHERWISE
6. ALL PF BRACED WALLS W/ 11 1/4" LVL'S WILL BE USED AS BRACED WALLS ON THE 1ST & 2ND FLOORS IN ACCORDANCE W/ R602.10.7

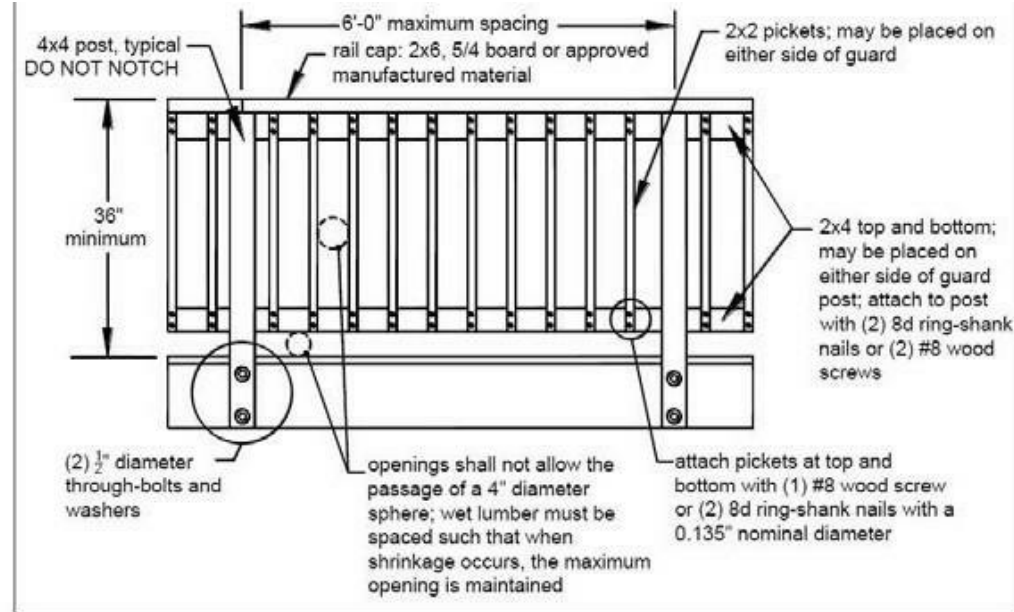
HEADER SCHEDULE

OPENING SIZE	HEADER
UP TO 6'-0"	2-2x10
6'-0" TO 8'-0"	2-2x12
8'-0" TO 10'-0"	2-2PLY 12" LVL

No.	Description	Date
1	Revision 1	9/27/17



1 SECOND FLOOR PLAN  
3/16" = 1'-0"



TYPICAL STAIR NOTES:

- 1. THE RISE AND RUN OF STEPS SHALL BE UNIFORM IN SIZE AND SHAPE AND THE VARIATION CAN NOT EXCEED 3/8" TOTAL RUN.
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SECOND FLOOR WINDOW SCHEDULE

Level	Type Mark	Type Comments
SECOND FF	10T	TW2852DH TEMPERED
SECOND FF	11	TW3052DH
SECOND FF	11	TW3052DH
SECOND FF	11	TW3052DH
SECOND FF	11	TW3052DH
SECOND FF	12	2852DH
SECOND FF	12	2852DH
SECOND FF	12T	2852DH TEMPERED
SECOND FF	13	2452DH
SECOND FF	13	2452DH
SECOND FF	13	2452DH
SECOND FF	13	2452DH
SECOND FF	13	2452DH
SECOND FF	20T	4016 AWNING TEMPERED
SECOND FF	20T	4016 AWNING TEMPERED
SECOND FF	79	2020DH

GENERAL NOTES:

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- 4. WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OR WHEN APPLICABLE SECTION R602.12
- 5. HATCHED AREAS INDICATED LOCATION OF BRACED WALLS USING METHODS CS-WSP AND CSPF UNLESS NOTED OTHERWISE
- 6. ALL PF BRACED WALLS W/ 11 1/4" LVL'S WILL BE USED AS BRACED WALLS ON THE 1ST & 2ND FLOORS IN ACCORDANCE W/ R602.10.7

HEADER SCHEDULE

OPENING SIZE	HEADER
UP TO 6'-0"	2-2x10
6'-0" TO 8'-0"	2-2x12
8'-0 TO 10'-0"	2-2PLY 12" LVL

No.	Description	Date
1	Revision 1	9/27/17

SECOND FLOOR PLAN

A-102

Scale As indicated

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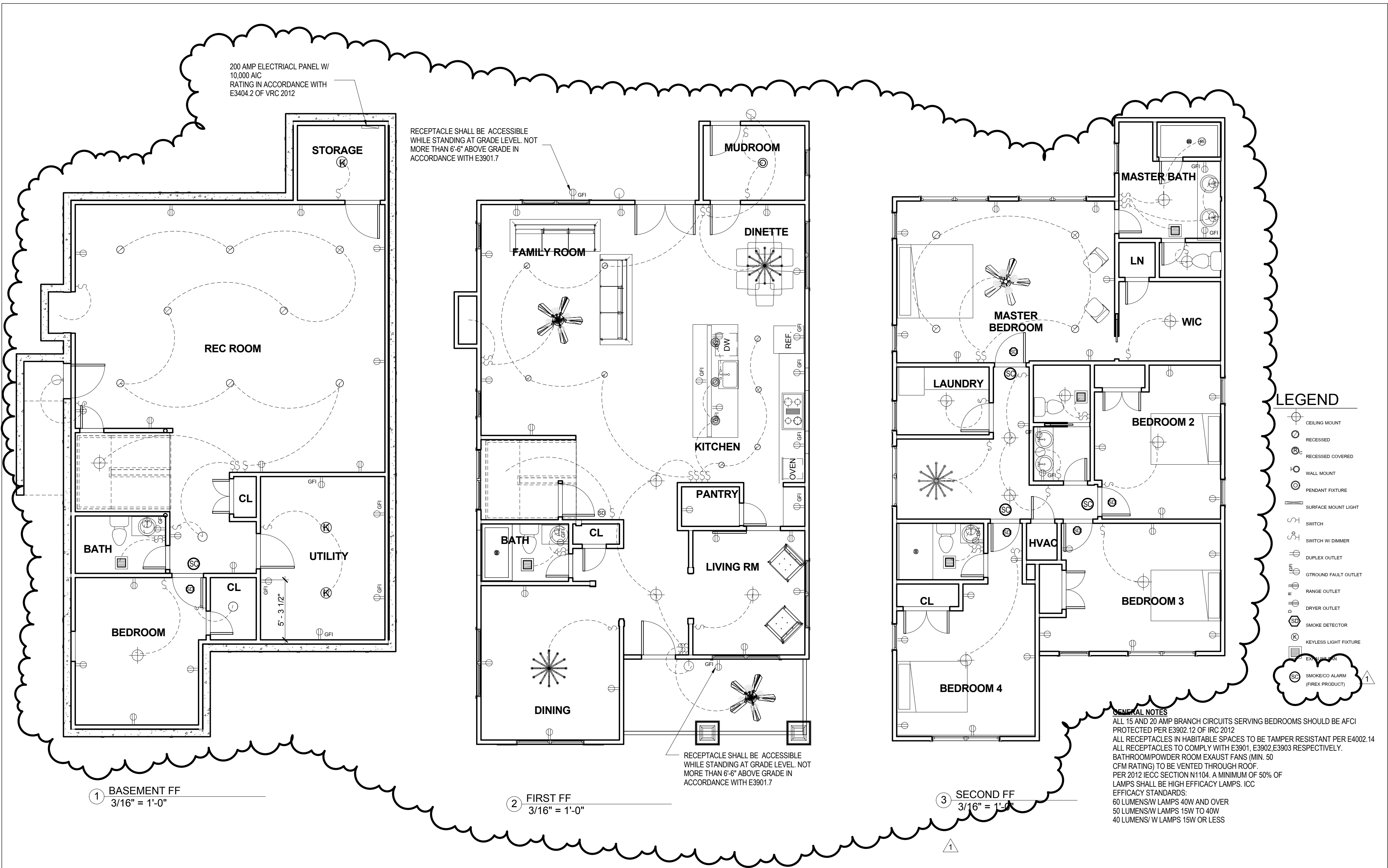
STEPHEN MORRIS

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Date

Issue Date





- LEGEND**
- CEILING MOUNT
  - RECESSED
  - RECESSED COVERED
  - WALL MOUNT
  - PENDANT FIXTURE
  - SURFACE MOUNT LIGHT
  - SWITCH
  - SWITCH W/ DIMMER
  - DUPLEX OUTLET
  - GROUND FAULT OUTLET
  - RANGE OUTLET
  - DRYER OUTLET
  - SMOKE DETECTOR
  - KEYLESS LIGHT FIXTURE
  - EXHAUST FAN
  - SMOKE/CO ALARM (FIREX PRODUCT)

**GENERAL NOTES**  
ALL 15 AND 20 AMP BRANCH CIRCUITS SERVING BEDROOMS SHOULD BE AFCI PROTECTED PER E3902.12 OF IRC 2012  
ALL RECEPTACLES IN HABITABLE SPACES TO BE TAMPER RESISTANT PER E4002.14  
ALL RECEPTACLES TO COMPLY WITH E3901, E3902, E3903 RESPECTIVELY.  
BATHROOM/POWDER ROOM EXHAUST FANS (MIN. 50 CFM RATING) TO BE VENTED THROUGH ROOF.  
PER 2012 IECC SECTION N1104, A MINIMUM OF 50% OF LAMPS SHALL BE HIGH EFFICACY LAMPS. ICC EFFICACY STANDARDS:  
60 LUMENS/W LAMPS 40W AND OVER  
50 LUMENS/W LAMPS 15W TO 40W  
40 LUMENS/W LAMPS 15W OR LESS



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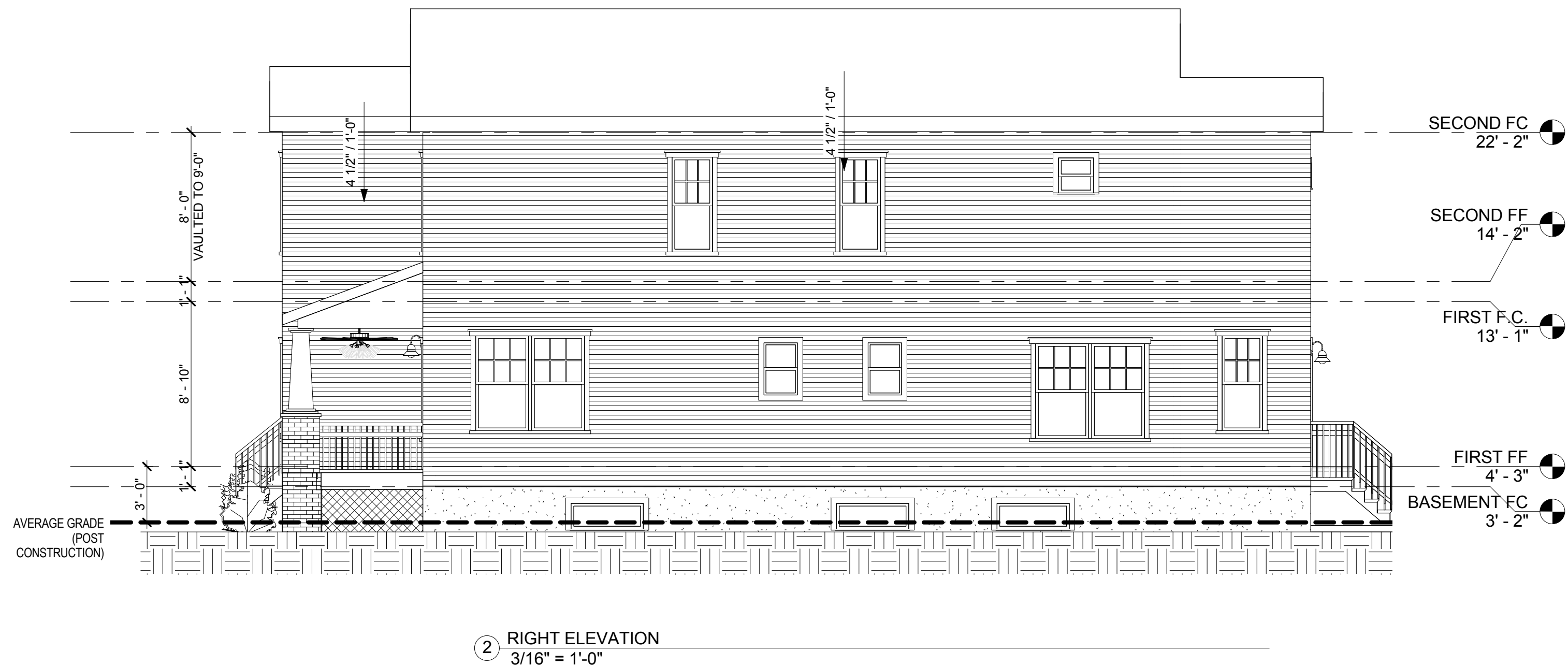
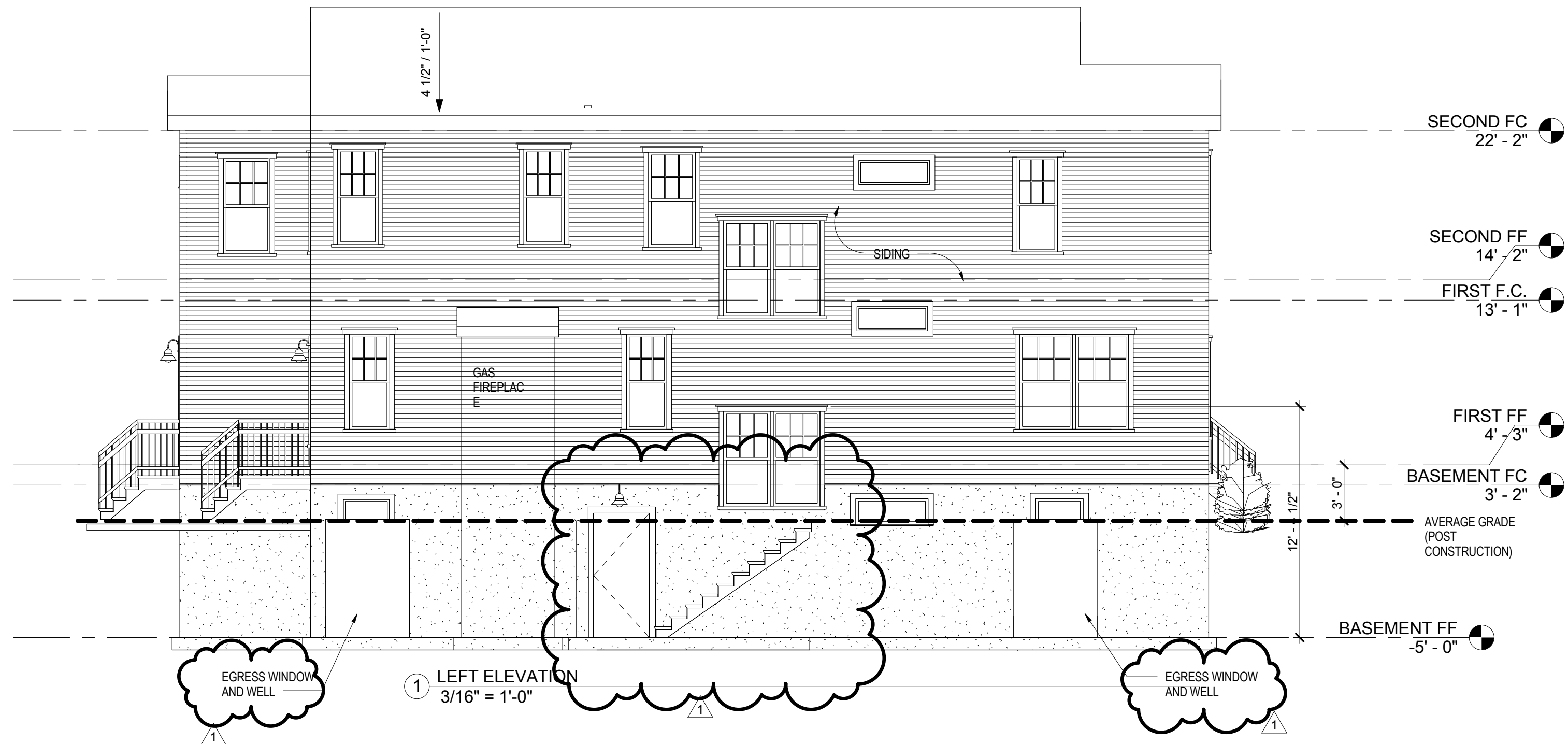
Date Issue Date

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1	Revision 1	9/27/17

**CEILING PLANS**

**A-104**

Scale as indicated



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Date

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ELEVATIONS

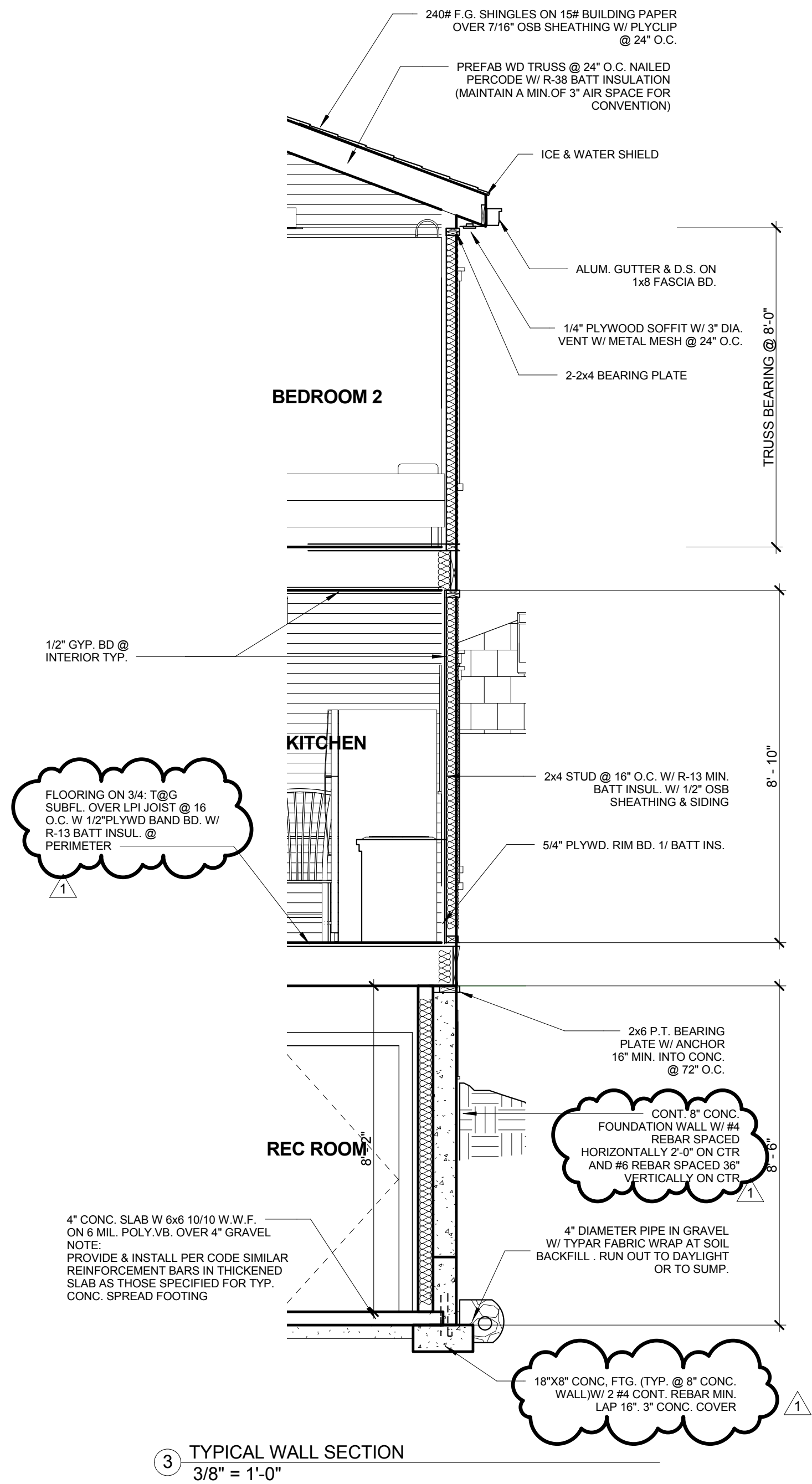
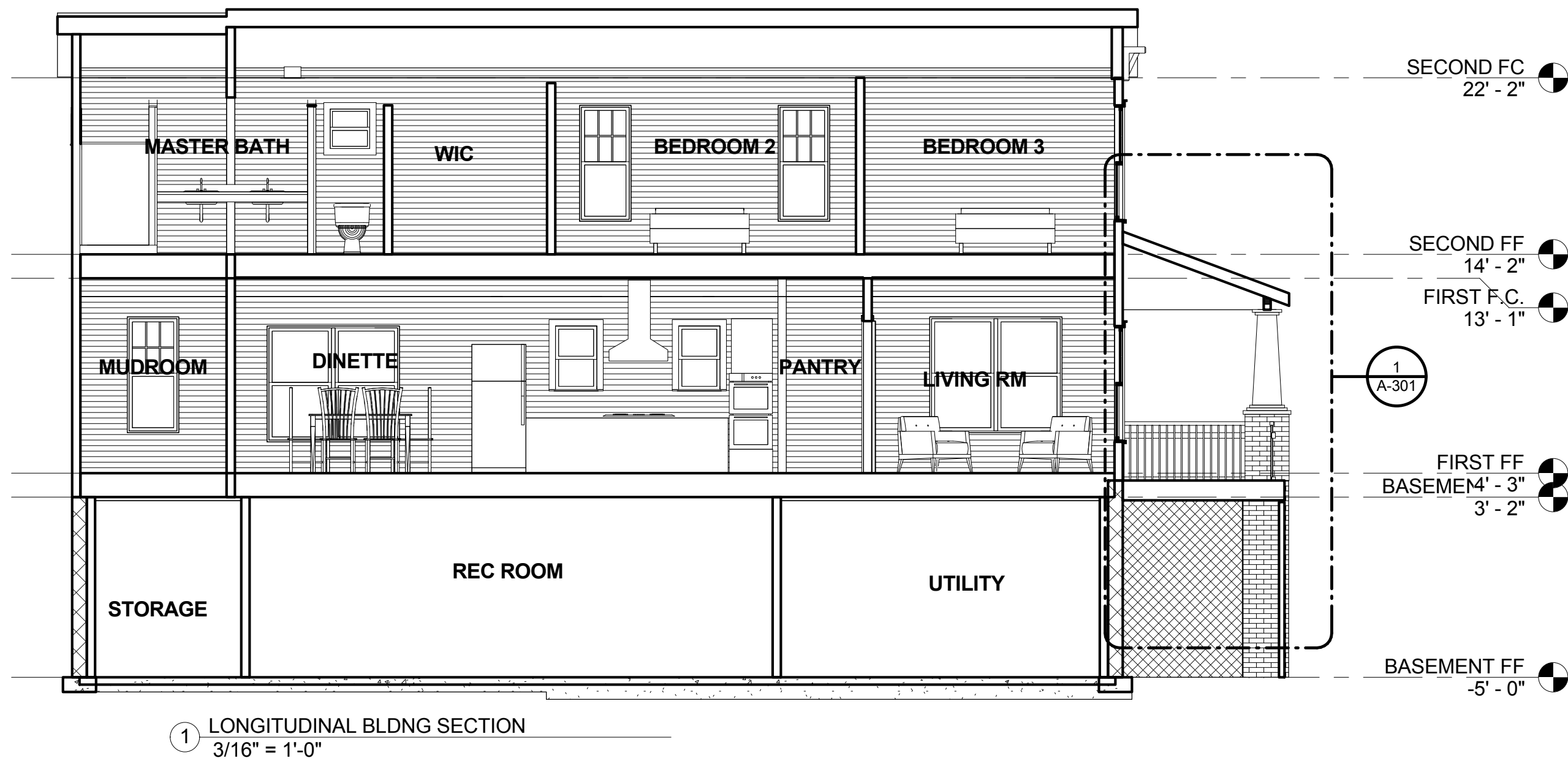
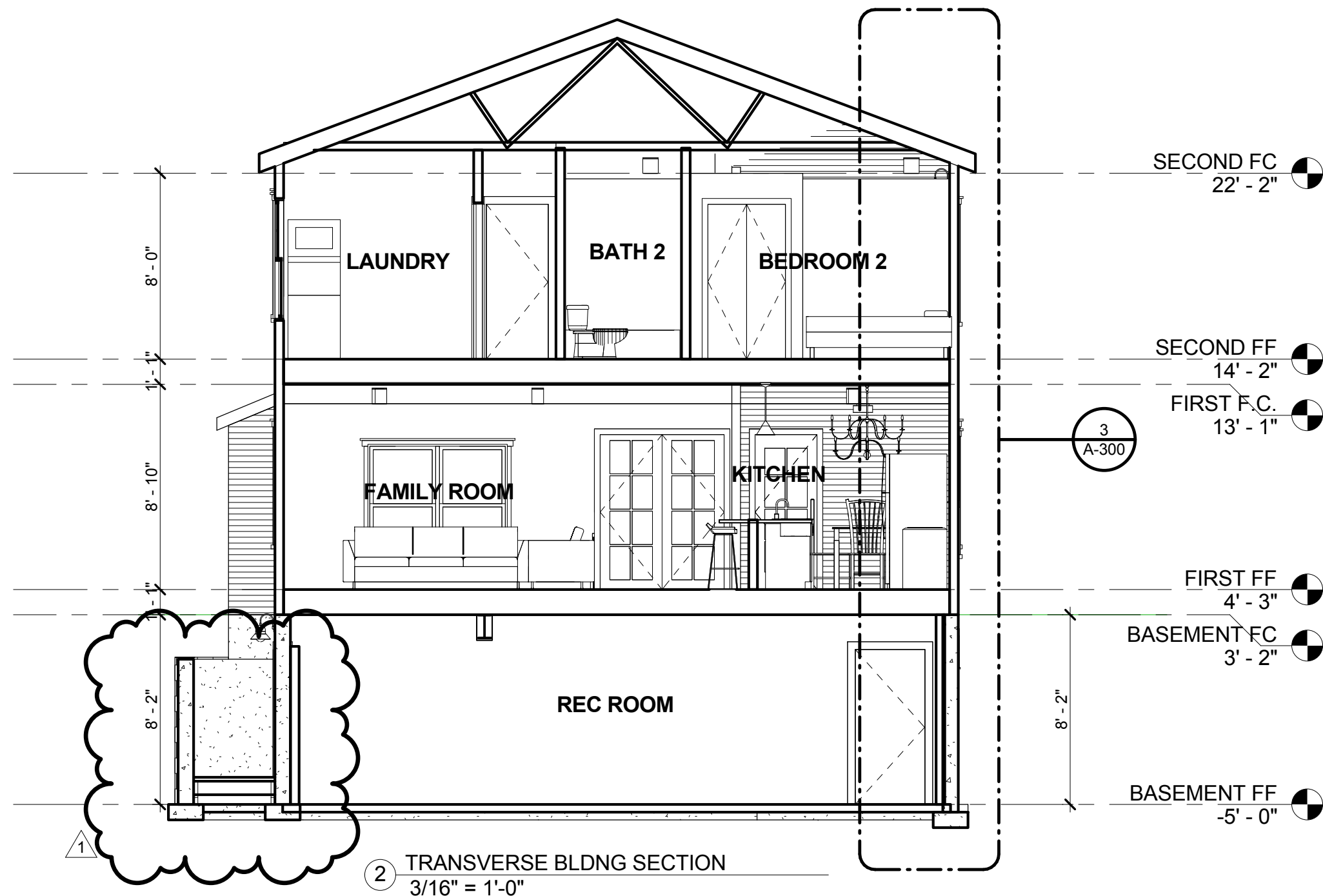
A-201

Scale

3/16" = 1'-0"

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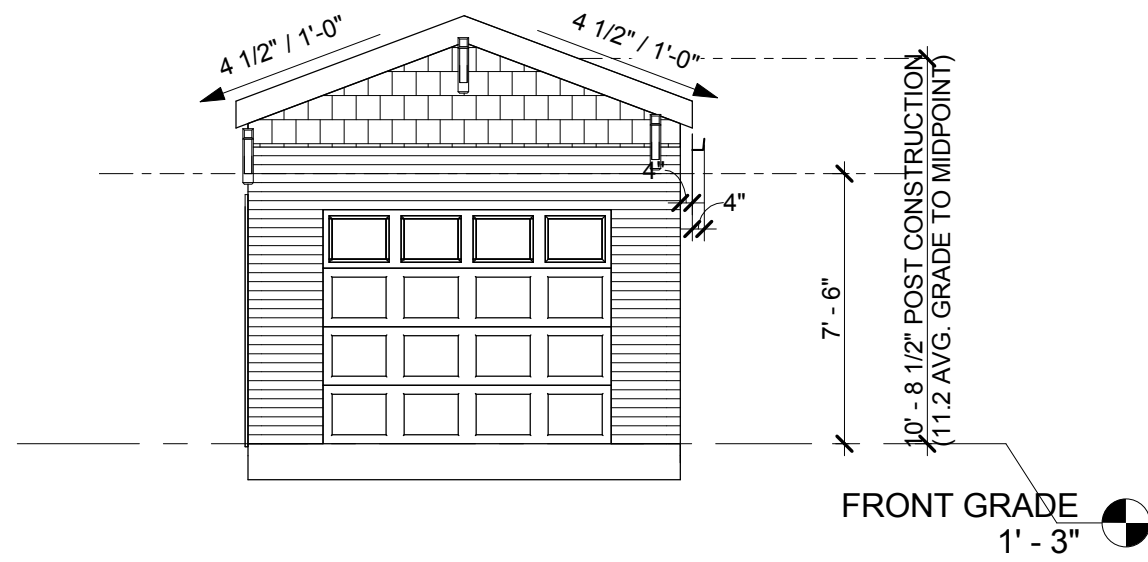
BUILDING  
SECTIONS

A-300

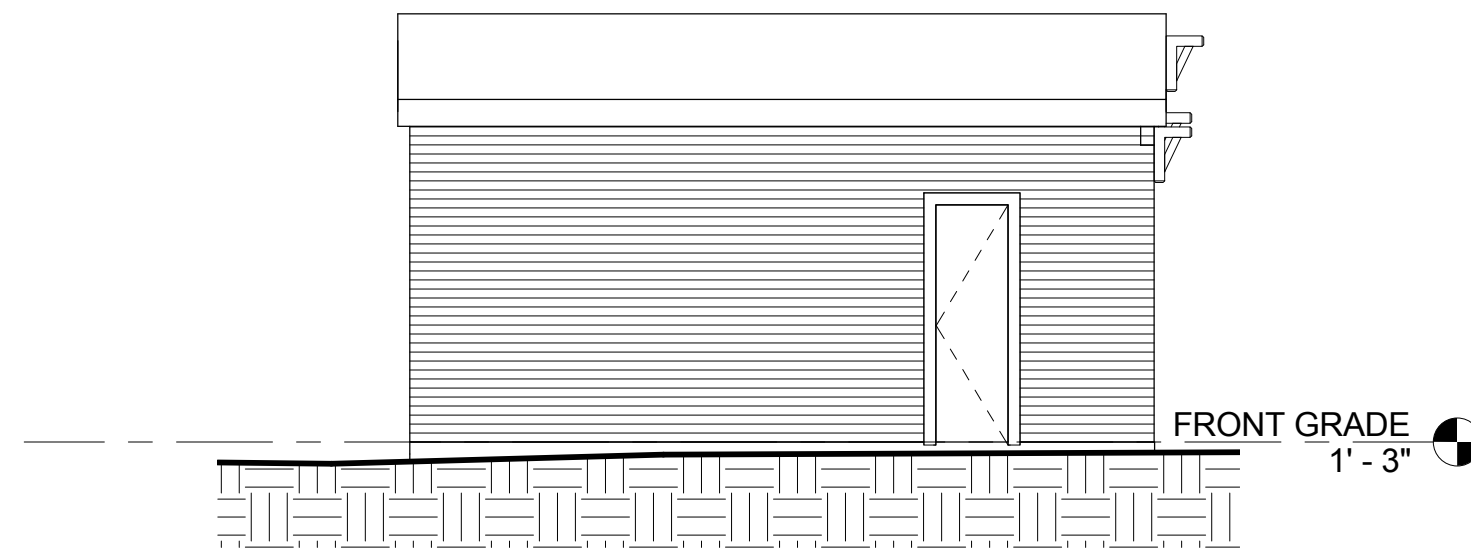
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As indicated

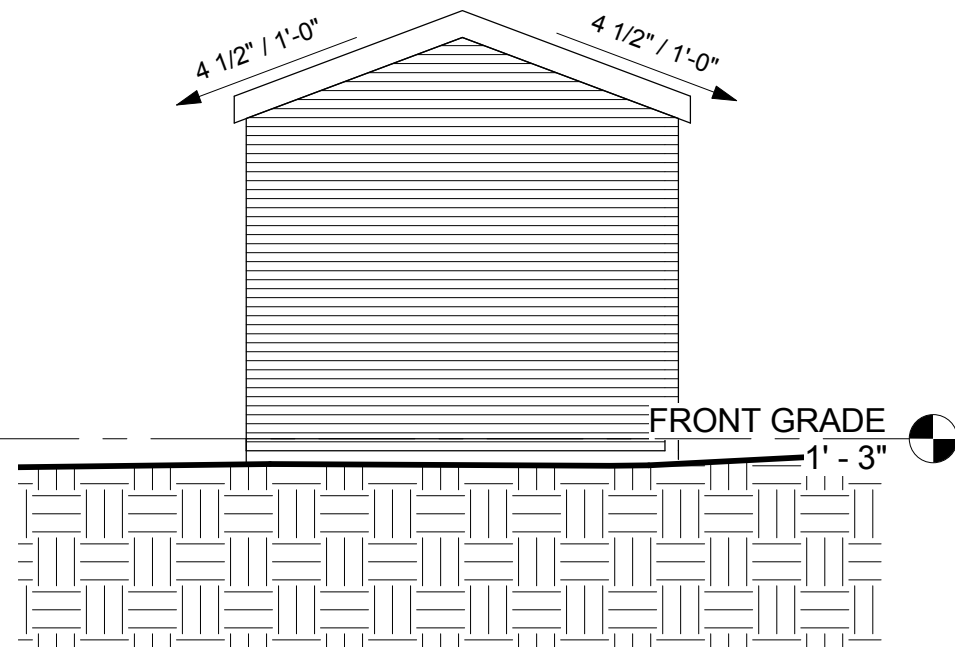
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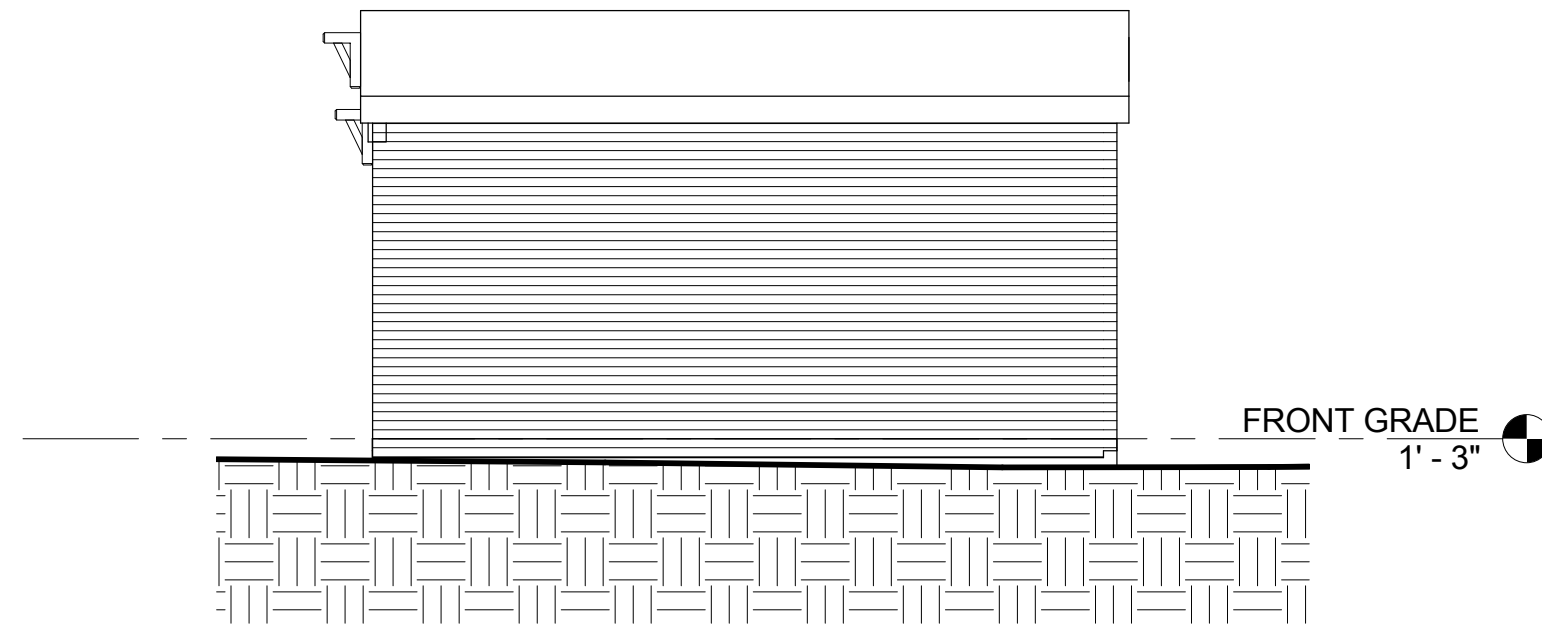
7 GARAGE FRONT ELEVATION  
3/16" = 1'-0"



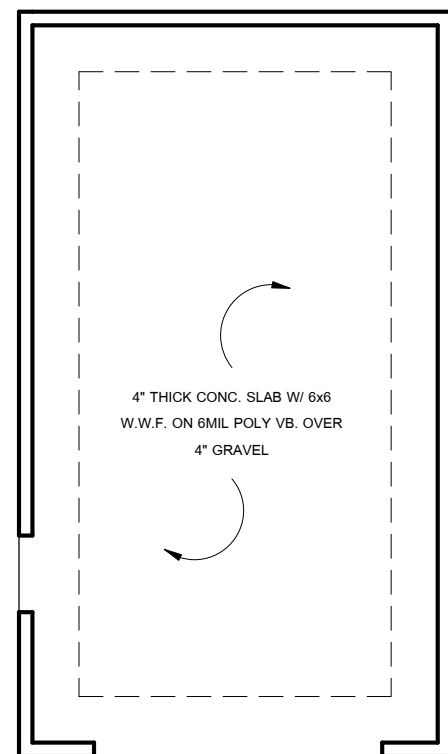
4 GARAGE LEFT ELEVATION  
3/16" = 1'-0"



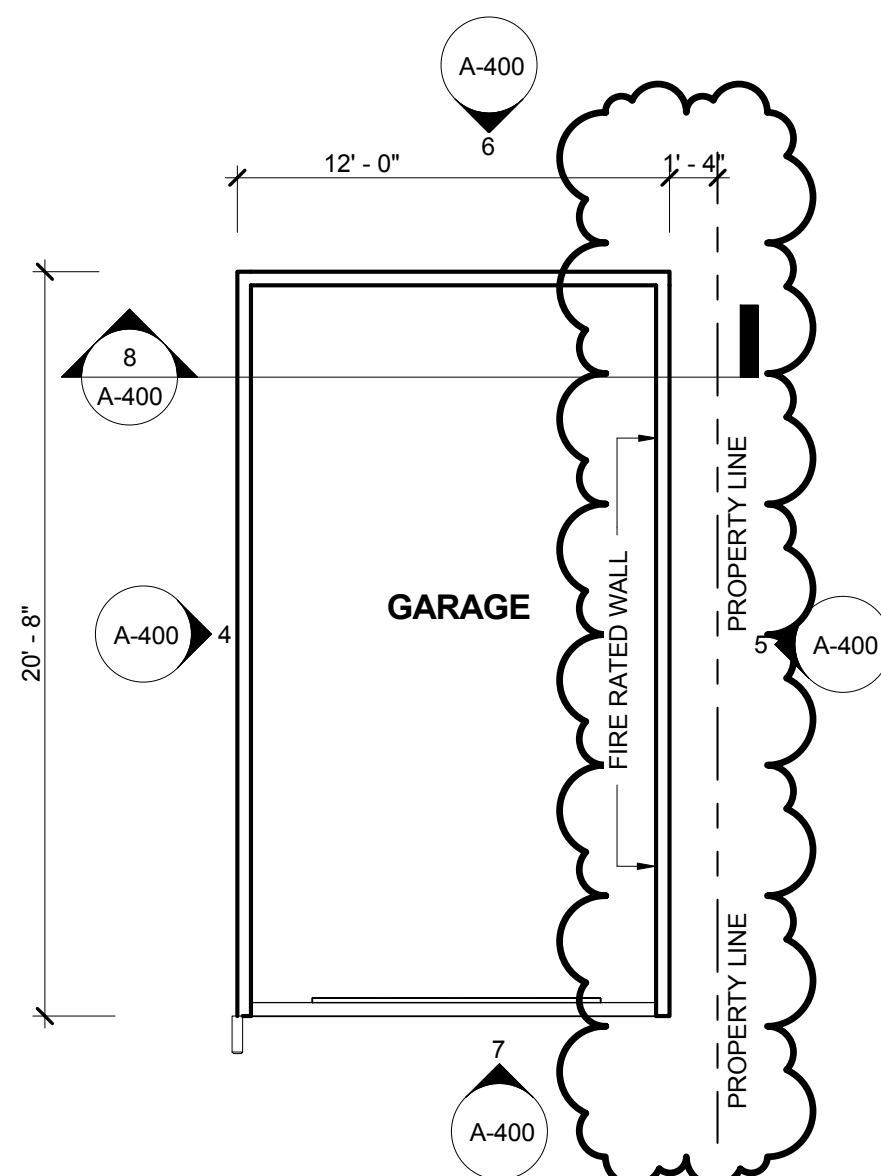
6 GARAGE REAR ELEVATION  
3/16" = 1'-0"



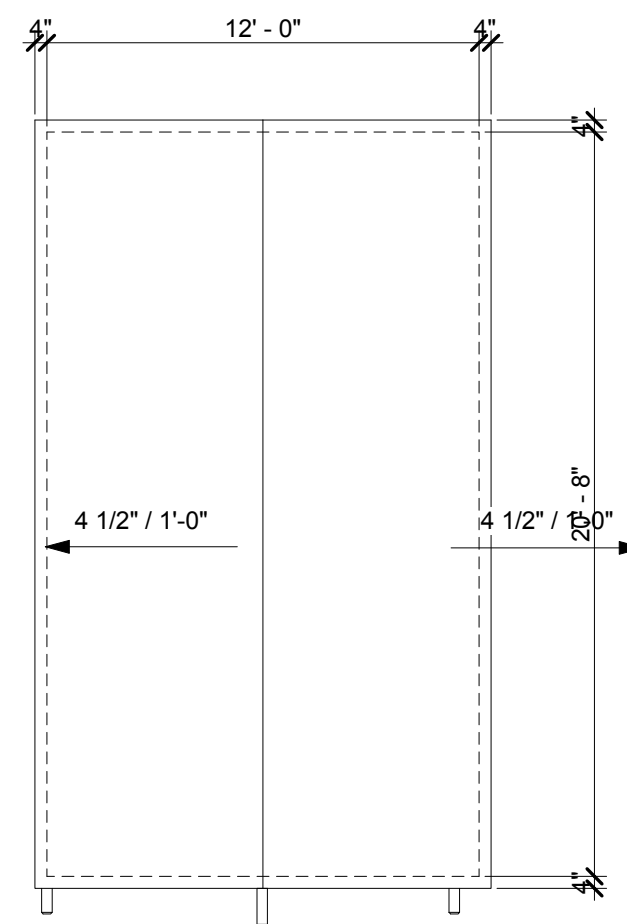
5 GARAGE RIGHT ELEVATION  
3/16" = 1'-0"



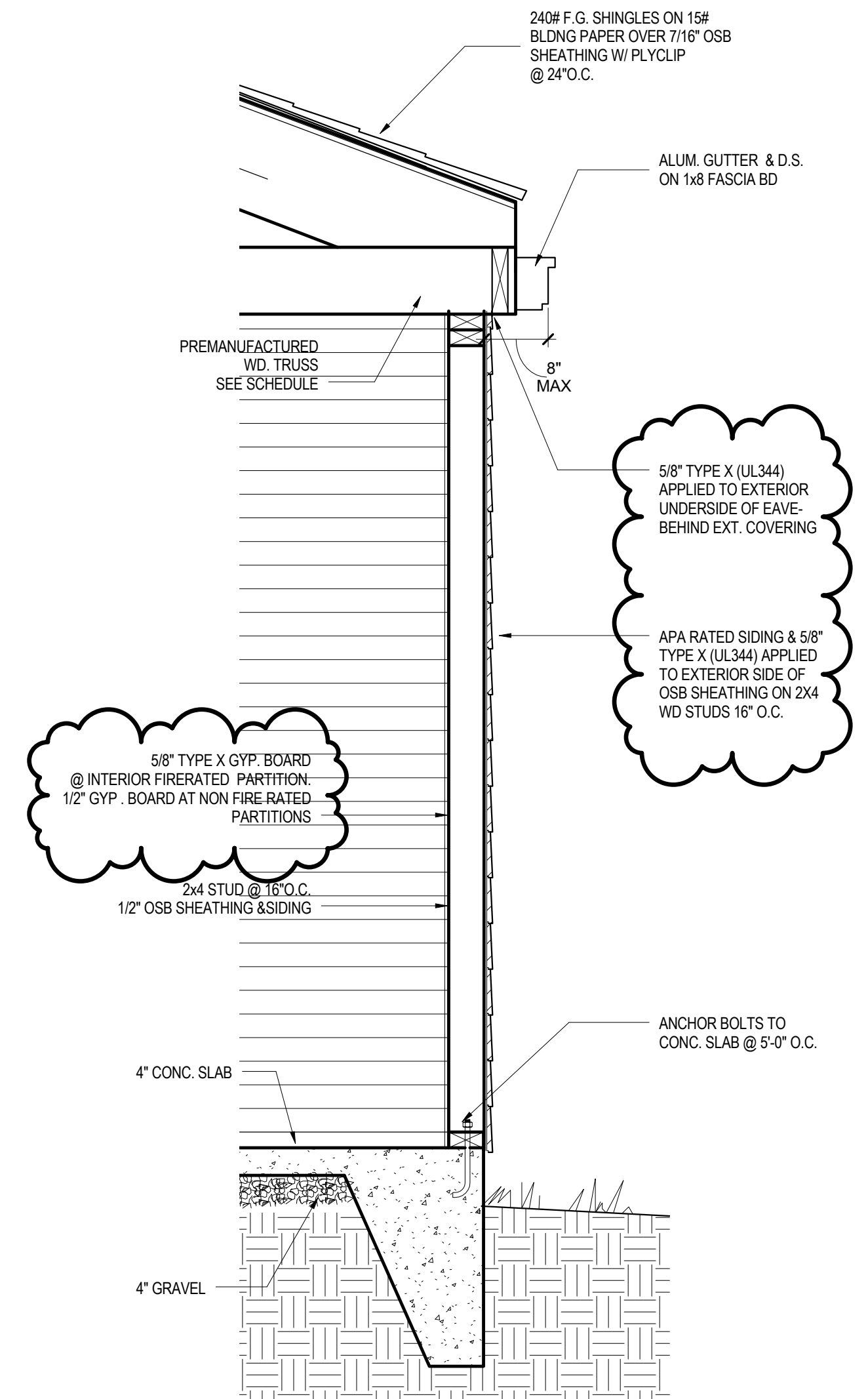
1 FOUNDATION @ GARAGE  
3/16" = 1'-0"



2 GARAGE FLOOR PLAN  
3/16" = 1'-0"



3 GARAGE ROOF PLAN  
3/16" = 1'-0"



8 SECTION @ GARAGE  
3/4" = 1'-0"

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GARAGE PLANS & DETAILS

A-400

Scale

As indicated

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